

3D VIEW FROM STREET

ABBREVIATIONS

A.B. ANCHOR BOLT A.C. AIR CONDITIONING A.F.F. ABOVE FINISHED FLOOR ALUM. ALUMINUM BLKG. BLOCKING BLW. BELOW BRZ. BRONZE BTN. BATTEN B.U.R. BUILT UP ROOFING CAB. CABINET C.A.R. COLD AIR RETURN C.J. CONTROL JOINT C.L.G. CEILING C.M.B. CONCRETE MASONRY UNIT C.O. CLEAN OUT C.O.T.G. CLEAN OUT TO GRADE COL. COLUMN CONC. CONCRETE CONT. CONTINUOUS CPT. CARPET C.T. CERAMIC TILE C.W. COLD WATER D.F. DOUGLAS FIR D.L. DEAD LOAD DN. DOWN DWG. DRAWING DW. DRAINWASHER (EXISTING) EA. EACH E.J. EXPANSION JOINT E.L.C. ELECTRIC / ELECTRICAL E.P. ELECTRIC PANEL EQUIP. EQUIPMENT EXT. EXTERIOR	F.A. FIRE ALARM F.A.U. FORCED AIR UNIT F.C.U. FAN COIL UNIT F.D. FLOOR DRAIN FND. FOUNDATION F.E. FIRE EXTINGUISHER F.F. FINISHED FLOOR F.F.B. FINISHED FLOOR BREAK F.G. FIXED GLASS F.H. FIRE HYDRANT F.L. FLOWLINE F.J. FLUSH JOINT FLR. FLOOR F.O.S. FACE OF STUD F.O.W. FACE OF WALL FP. FIREPLACE F.R.P. FIBER REINFORCED PLASTIC FT. FOOT FTG. FOOTING G. GAS G.B. GLU-LAM BEAM G.S. GYPSUM SHEATHING G.W.B. GYPSUM WALL BOARD H.B. HOSE BIB HT. HEIGHT DN. DOWN H.V.A.C. HEATING / VENTILATING / AIR CONDITIONING H.W. HOT WATER ID. INSIDE DIAMETER JST. JOIST JT. JOINT LAM. LAMINATED LAV. LAVATORY L.B. LAG BOLT L.L. LIVE LOAD LT. LIGHT L.V.L. LAMINATED VENEER LUMBER	M.B. MACHINE BOLT M.C. MEDICINE CABINET M.D.F. MEDIUM DENSITY FIBERBOARD MH. MANHOLE MTL. METAL (N) NEW N.I.C. NOT IN CONTRACT NO. NUMBER N.T.S. NOT TO SCALE O / OVER O.A.E. OR APPROVED EQUAL O.C. ON CENTER O.D. OUTSIDE DIAMETER OH. OVERHEAD O.R.D. OVERFLOW ROOF DRAIN O.S.B. ORIENTED STRAND BOARD P.D.F. POWDER DRIVEN FASTENER P.LAM. PLASTIC LAMINATE PLYWD. PLYWOOD PNT. PAINT P.T. PRESSURE TREATED R. RISE R.A. RETURN AIR R/C. REINFORCED CONCRETE R.D. ROOF DRAIN RDWD. REDWOOD REV. REVISION RM. ROOM R.O. ROUGH OPENING R/S. REINFORCING STEEL R.W.L. RAIN WATER LEADER S.A.M.P. SELF-ADHERED MEMBRANE FLASHING S.B.A. SELECTED BY ARCHITECT S.B.O. SELECTED BY OWNER S.D. STORM DRAIN S.E.D. SEE ELECTRICAL DRAWINGS SHT. SHEET SHLV. SHELVES / SHELVING SHWR. SHOWER	SLR. SEALER SLDR. SLIDER S.M.C.F. SEE MECHANICAL DRAWINGS SPEC. SPECIFICATIONS S.P.D. SEE PLUMBING DRAWINGS S.B.R. SHELF AND ROD S.S. SANITARY SEWER S.S.D. SEE STRUCTURAL DRAWINGS STN. STAIN STO. STORAGE STRUCT. STRUCTURE / STRUCTURAL SUSP. SUSPENDED S.W. SHEAR WALL T. TREAD T.B. TOWEL BAR T.C. TRASH COMPACTOR TEMP. TEMPERED T.O.C. TOP OF CURB T.A.G. TONGUE AND GROOVE THR. THICK (NESS) THR. THRESHOLD T.O.B. TOP OF BEAM T.O.P.L. TOP OF PLATE T.O.S. TOP OF SLAB T.O.STL. TOP OF STEEL T.O.W. TOP OF WALL U.O.N. UNLESS OTHERWISE NOTED V.B.R. VAPOR BARRIER VENT. VENTILATOR / VENTILATION V.G.D.F. VERTICAL GRAIN DOUGLAS FIR V.I.F. VERIFY IN FIELD W.C. WATER CLOSET WD. WOOD WD. WASHER / DRYER W.H. WATER HEATER WP. WATERPROOF W.R.B. WATER RESISTIVE BARRIER W.C.S.T. WAINSCOT
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GENERAL NOTES

- ALL WORK SHALL BE COMPLETED TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP AND BEST TRADE PRACTICES.
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND/OR LOCAL CODES, LAWS AND ORDINANCES, RULES AND REGULATIONS, REFERENCES IN THE DRAWINGS & SPECIFICATIONS TO "CODE" OR TO "BUILDING CODE" NOT OTHERWISE IDENTIFIED SHALL BE IN REFERENCE TO THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE, INCLUDING ALL ADDENDA, IN EFFECT ON THE DATE OF RECEIPT OF BIDS. NOTHING IN THE DRAWINGS IS TO BE CONSTRUED AS PERMITTING WORK THAT IS CONTRARY TO THESE RULES, REGULATIONS, AND CODES. CONTRACTOR TO NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE IDENTIFIED DURING CONSTRUCTION IN ORDER TO BE RECONCILED WITH CODE REQUIREMENTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS WITH THOSE AT THE SITE. WRITTEN DIMENSIONS ARE TO BE USED, DO NOT SCALE PLANS. ANY VARIATION WHICH REQUIRES PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING. NOTIFY THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. IF DISCREPANCIES, INCONSISTENCIES OR UNANTICIPATED CONDITIONS ARE ENCOUNTERED.

TYP. MATERIAL LEGEND

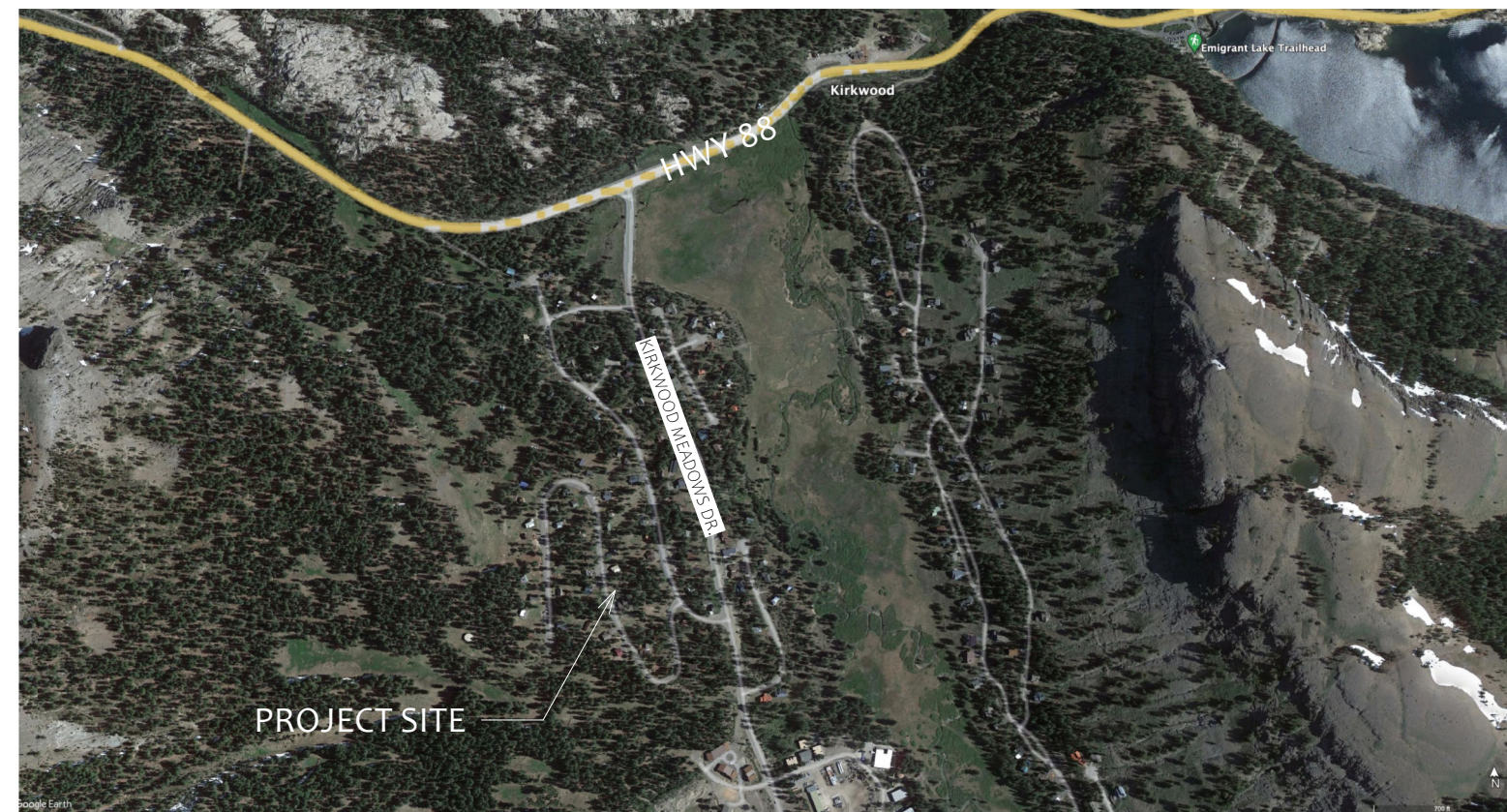
ASPHALTIC CONCRETE PAVING (CUT)	FRAMING MEMBER (CONTINUOUS)
BATT INSULATION (SECTION)	FINISH MILLWORK (CUT)
CONCRETE	GYPSUM WALL BOARD OR SAND (CUT)
CONCRETE MASONRY UNIT (CUT)	METAL STEEL OR IRON (CUT)
EARTH (CUT)	PLYWOOD (CUT)
FRAMING MEMBER (BLOCKING)	RIGID, SPRAY-IN OR BLOWN-IN INSULATION

REFERENCE SYMBOLS

ROOM IDENTIFICATION	SECTION IDENTIFICATION
WINDOW IDENTIFICATION	SHEET DESIGNATION
DOOR IDENTIFICATION	DETAIL IDENTIFICATION
WALL ASSEMBLY TYPE	DETAIL DESIGNATION
ROOF OR FLOOR / CEILING ASSEMBLY TYPE	INTERIOR ELEVATION
REVISION IDENTIFICATION	SHEET DESIGNATION
	ELEVATION DESIGNATION
	EXTERIOR ELEVATION
	ELEVATION IDENTIFICATION
	SHEET DESIGNATION

SYMBOLS

ANGLE
CENTER LINE
CHANNEL
DIAMETER
INCHES
FEET
PENNY
PERPENDICULAR
PROPERTY LINE
POUND



VICINITY MAP

SHEET LIST

SHEET NUMBER	SHEET NAME
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ARCHITECTURE	COVER PAGE
A0.1	SITE PLAN
A1.1	MAIN FLOOR
A2.1	LOWER LEVEL
A2.3	ROOF PLAN
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS

GALLAHER RESIDENCE

ENTRY ADDITION

33951 DANBURG DRIVE
KIRKWOOD, CA 95646

APN: 026-163-005

OWNER:
GARY AND ELAINE GALLAHER
19 VALLEY DR.
ORINDA, CA 94563
(925) 254-3618

ARCHITECT:
ECOSENSE DESIGN
ANNE-FLORE P. DWYER
PO BOX 702
TRUCKEE CA 96160
(530) 220-0531

PROJECT DESCRIPTION

THE PROPOSED PROJECT CONSISTS OF AN ENTRY ADDITION TO PROVIDE AN ACCESSIBLE MEANS OF ACCESS FROM THE ROADWAY TO THE EXISTING RESIDENCE. ADDITIONALLY A LAUNDRY ROOM IS PROPOSED IN SPACE BENEATH PROPOSED ENTRY ADDITION. A BUILT-UP PARKING PAD IS PROPOSED ALONGSIDE ROADWAY WITH A PEDESTRIAN BRIDGE CONNECTING THE PARKING PAD AND ADDITION.

THE PROJECT ALSO PROPOSES TO ADD A ROOF EXTENSION OVER THE EXISTING REAR DECK TO SHED SNOW OVER THE RAILING ONTO THE GROUND BELOW. ADDITIONALLY ALL EXISTING GUARD RAILS, ROOFING AND SIDING ARE PROPOSED TO BE REPLACED WITH NEW FIRE RESISTANT MATERIALS. NO CHANGES TO EXISTING UTILITIES ARE BEING PROPOSED.

CONDITIONED SPACE:	
EXISTING RESIDENCE MAIN LEVEL	830 SF
EXISTING RESIDENCE LOWER LEVEL	794 SF
TOTAL EXISTING RESIDENCE	1584 SF
PROPOSED ADDITION ENTRY LEVEL	108 SF
PROPOSED ADDITION LOWER LEVEL	108 SF
TOTAL PROPOSED	216 SF
TOTAL EXISTING AND PROPOSED	1800 SF

DECKS:	
EXISTING DECK/WALKWAY BRIDGES:	457 SF
PROPOSED DECK/WALKWAY BRIDGES:	853 SF
TOTAL DECK:	809 SF

BUILDING CODE NOTES

CODE REQUIREMENTS:
OCCUPANCY CLASSIFICATION: R-3 RESIDENTIAL

CONSTRUCTION TYPE: VB, NON-SPRINKLERED

APPLICABLE CODES:
THE PROJECT SHALL COMPLY WITH ALL APPLICABLE CODES INCLUDING:
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA GREEN BUILDING STANDARD
AMADOR COUNTY
KMAPC DESIGN GUIDELINES

ECOSENSE DESIGNS

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CA LICENSE C-35719

COVER PAGE

GALLAHER RESIDENCE
ENTRY ADDITION

33951 DANBURG DRIVE
KIRKWOOD CA 95646
APN: 026-163-005

SCALE: 1/2" = 1'-0"

DATE: 7/09/2023

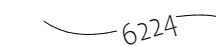
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SUBMITTAL


REVISIONS:

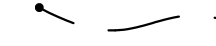
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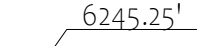
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SITE PLAN NOTES:


- 


EXISTING CONTOUR
- 


EXISTING CONTOUR TO BE MODIFIED
- 

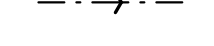
NEW CONTOUR
- 


SPOT ELEVATION
- 


UTILITY AS NOTED
- 

PROPERTY LINE
- 

BUILDING SETBACK & EASEMENT LINES
- 

DRAINAGE FLOW LINE
- 

VEGETATION PROTECTION FENCING
- 

EROSION CONTROL BARRIER
- 

UTILITY LINE

SITE PLAN NOTES:

1. TOPOGRAPHIC SURVEY:
 - A. TOPOGRAPHIC AND OTHER SURVEY INFORMATION OBTAINED FROM A SURVEY PREPARED BY RO ANDERSON, DATED AUGUST 10, 2023.
 - B. TREES SMALLER THAN 6" IN DIAMETER HAVE NOT BEEN SHOWN; TREE LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.
2. TOPOGRAPHY, SPOT ELEVATIONS AND TREES ON SITE PLAN WHICH AREA SHOWN OUTSIDE OF AREA OF SURVEY HAVE BEEN DEDUCED FROM EXTENSION OF SURVEY COMPONENTS AND SITE VISIT. ALL ELEVATIONS AND GRADE ARE TO BE VERIFIED AND COORDINATED IN THE FIELD. FINAL ELEVATIONS FOR ADDITION AND CONNECTION TO EXISTING STRUCTURES TO BE VERIFIED AND COORDINATED IN THE FIELD.
3. EXISTING UTILITIES: CONTRACTOR TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES IN THE FIELD. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES WITH THE DRAWINGS PRIOR TO COMMENCING WORK.
4. FOUNDATION DRAINAGE: PROVIDE FOUNDATION PERIMETER DRAINAGE.
5. GRADING/DRAINAGE: SLOPE ALL GRADES ADJACENT TO FOUNDATIONS AWAY FROM THE BUILDING, A MINIMUM OF 2% SLOPE. MAINTAIN THE 2% SLOPE FOR A MINIMUM DISTANCE OF 10' AWAY FROM THE STRUCTURE OR TO AN APPROVED DRAINAGE FACILITY. IF PHYSICAL OBSTRUCTION OR LOT LINES PROHIBIT THE 10'-0" DISTANCE, A 2% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION. PROVIDE 2% MINIMUM SLOPE AT ALL DRAINAGE SWALES LOCATED WITHIN 10' OF A BUILDING. SLOPE ALL IMPERVIOUS SURFACES AWAY FROM BUILDINGS AT A MINIMUM SLOPE OF 2%.
6. CONSTRUCTION MANAGEMENT PLAN:
 - A. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH HOA CONSTRUCTION GUIDELINES.
 - B. ACCESS: CONSTRUCTION ACCESS TO THE BUILDING SITE SHALL BE OVER THE PROPOSED DRIVEWAY ONLY.
 - C. PROVIDE ONGOING PROTECTION OF EXISTING VEGETATION DURING ALL PHASES OF CONSTRUCTION UNTIL COMPLETION OF THE PROJECT.
 - D. PARKING: COMPLY WITH REQUIREMENTS OF THE HOA.
 - E. MATERIAL STORAGE/DELIVERY: ALL BUILDING MATERIALS, EQUIPMENT, AND MACHINERY, ARE TO BE DELIVERED TO AND REMAIN WITHIN THE IMPROVEMENT ENVELOPE AND THE BOUNDARIES OF THE AREA OF DISTURBANCE.
 - F. DEBRIS AND WASTE REMOVAL: CLEAN UP TRASH AND DEBRIS AT THE END OF EACH DAY. REMOVE FROM THE CONSTRUCTION SITE AT LEAST ONCE A WEEK. CONSTRUCTION SITE SHALL BE KEPT NEAT AND SHALL NOT BE AN EYESORE, NUISANCE, OR DETRIMENT TO NEIGHBORING PROPERTIES.
 - G. HOURS OF CONSTRUCTION: COMPLY WITH LOCAL AND COUNTY REQUIREMENTS AND RESTRICTIONS.
 - H. FIRE SAFETY: CONTRACTOR TO COMPLY WITH ALL FEDERAL, STATE, AND LOCAL FIRE SAFETY REGULATIONS. PROVIDE A MINIMUM OF 1 SHOVEL AND TWO 30 LBS RATED DRY CHEMICAL FIRE EXTINGUISHERS MOUNTED IN PUBLIC VIEW.
 - I. TEMPORARY POWER, SIGNS, SURVEY LINES, ETC. SHALL NOT BE NAILED TO TREES.
 - J. PORTABLE TOILET AND DUMPSTER SHALL BE LOCATED IN A LOCATION APPROVED BY THE HOA.
7. DRIVEWAY SHALL COMPLY WITH THE FOLLOWING STANDARDS:
 - A. DRIVEWAY GRADE SHALL NOT EXCEED 10% MAXIMUM. SEE NEVADA COUNTY FIRE STANDARD DRIVEWAY AND PRIVATE DRIVEWAY DETAILS.

VARIANCE AND EASEMENT NOTES:

1. KMA#K AND AMADOR COUNTY VARIANCE FOR ROOF OVERHANG AND PEDESTRIAN ACCESS BRIDGE AT ADDITION TO EXISTING STRUCTURE: PROPOSED PROJECT CONSISTS OF A ENTRY ROOM ADDITION AND PEDESTRIAN BRIDGE CONNECTION TO DANBURG DRIVE. PROJECT IS DESIGNED TO ALLOW FOR FUTURE ADDITION OF A 1-CAR GARAGE ADJACENT TO ENTRY ADDITION. PROPOSED ENTRY ADDITION DOES NOT ENCRUCH INTO SETBACKS HOWEVER ROOF OF PROPOSED AND PEDESTRIAN BRIDGE FOR CONNECTION TO ROADWAY ARE LOCATED WITHIN THE FRONT SETBACK. DUE TO STEEPNESS OF PROPERTY AND LOCATION OF EXISTING RESIDENCE THE PROPOSED ROOF EXTENDS INTO FRONT SETBACK TO PROVIDE A PROTECTED ENTRY ACCESS POINT TO THE ADDITION. THE PROPOSED ROOF EXTENTS ARE OPTIMIZED TO ALLOW FOR CONNECTION OF FUTURE GARAGE. THE WALKWAY IS LOCATED IN THE FRONT SETBACK AND EXTENDS BEYOND PROPERTY LINE IN ORDER TO PROVIDE AN ACCESS POINT TO THE RESIDENCE FROM THE ROAD. PROPOSED ROOF REMAINS OUTSIDE OF THE KMA 5'-0" GARAGE SETBACK.
2. KMA EXCLUSIVE EASEMENT: PROPOSED PEDESTRIAN BRIDGE FOR CONNECTION FROM DANBURG DRIVE TO PROPOSED ENTRY ADDITION. THIS BRIDGE IS SIMILAR TO THOSE LOCATED AT RESIDENCES ON EITHER SIDE OF THIS (E) RESIDENCE. ACCESS BY BRIDGE AT THESE SITES IS TYPICAL DUE TO STEEP TERRAIN BETWEEN ROADWAY AND RESIDENCES. EXCLUSIVE EASEMENT REQUESTED FOR BRIDGE STRUCTURE AND AREA OF FUTURE DRIVEWAY STRUCTURE BETWEEN ON GRADE ASPHALT AND PROPERTY LINE.
3. KMA NON-EXCLUSIVE EASEMENT: NON-EXCLUSIVE EASEMENT REQUESTED FOR AREA TO BE PAVED AND BUILT-UP ALONG DANBURG DRIVE FOR TO PROVIDE PARKING FOR 1 VEHICLE AND ACCESS TO PEDESTRIAN BRIDGE CONNECTOR.

SITE COVERAGE

OVERALL SITE:	13,063 SF
ALLOWABLE SITE COVERAGE (35%):	4,571 SF
EXISTING COVERAGE:	1,036 SF
PROPOSED COVERAGE:	303 SF
TOTAL COVERAGE:	1,339 SF (10%)



1 SITE PLAN
1" = 10'-0"

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CA LICENSE C-35719

SITE PLAN

GALLAHER RESIDENCE
ENTRY ADDITION

33951 DANBURG DRIVE
KIRKWOOD CA 95646

APN: 026-163-005

SCALE: As indicated

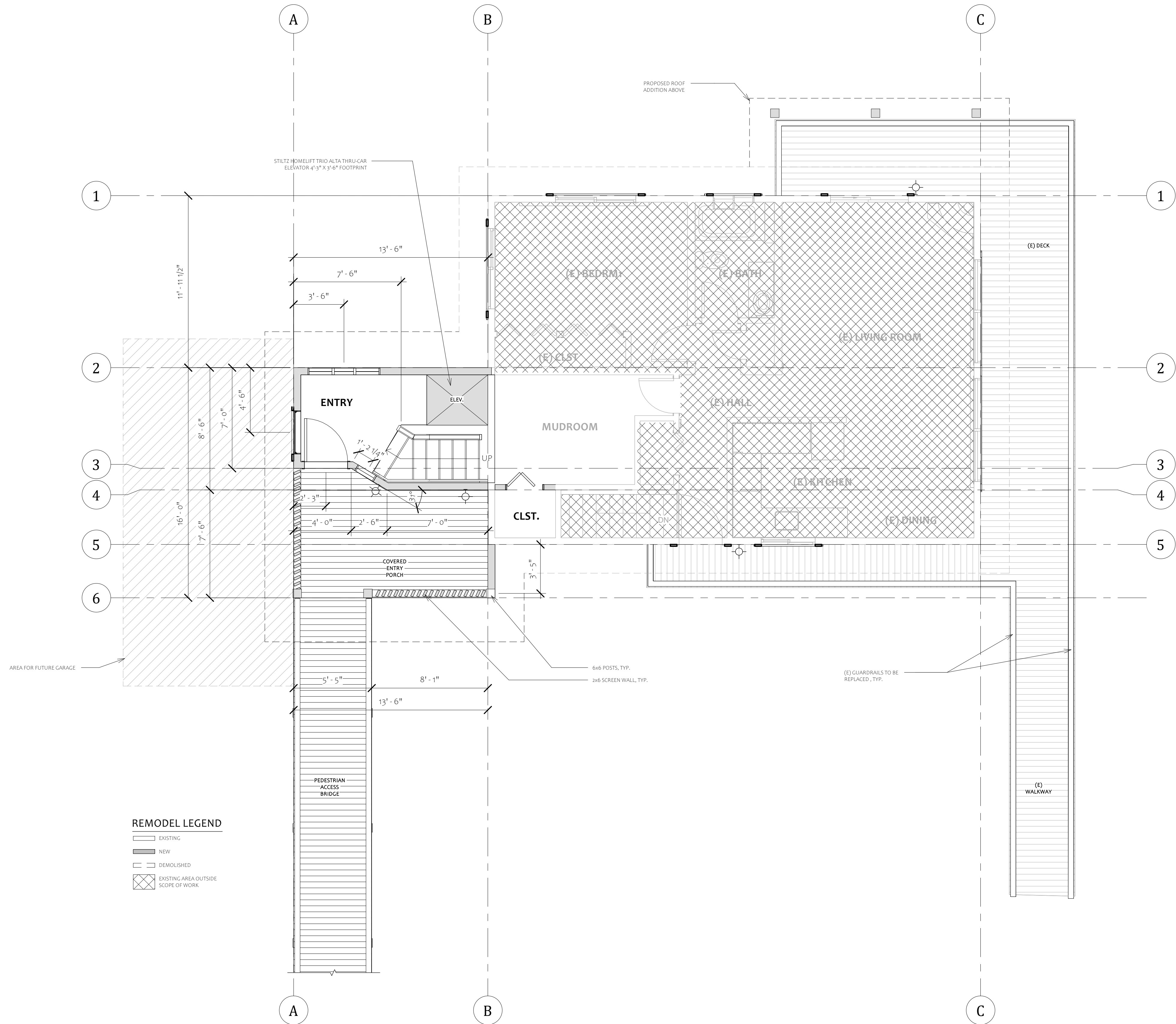
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SUBMITTAL

REVISIONS:

A1.1

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PROPOSED MAIN LEVEL ADDITION

00 02 04 08 FEET

SF SUMMARY	
EXISTING CONDITIONED SPACE:	830 SF
PROPOSED CONDITIONED SPACE:	108 SF
TOTAL CONDITIONED SPACE:	938 SF



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MAIN FLOOR

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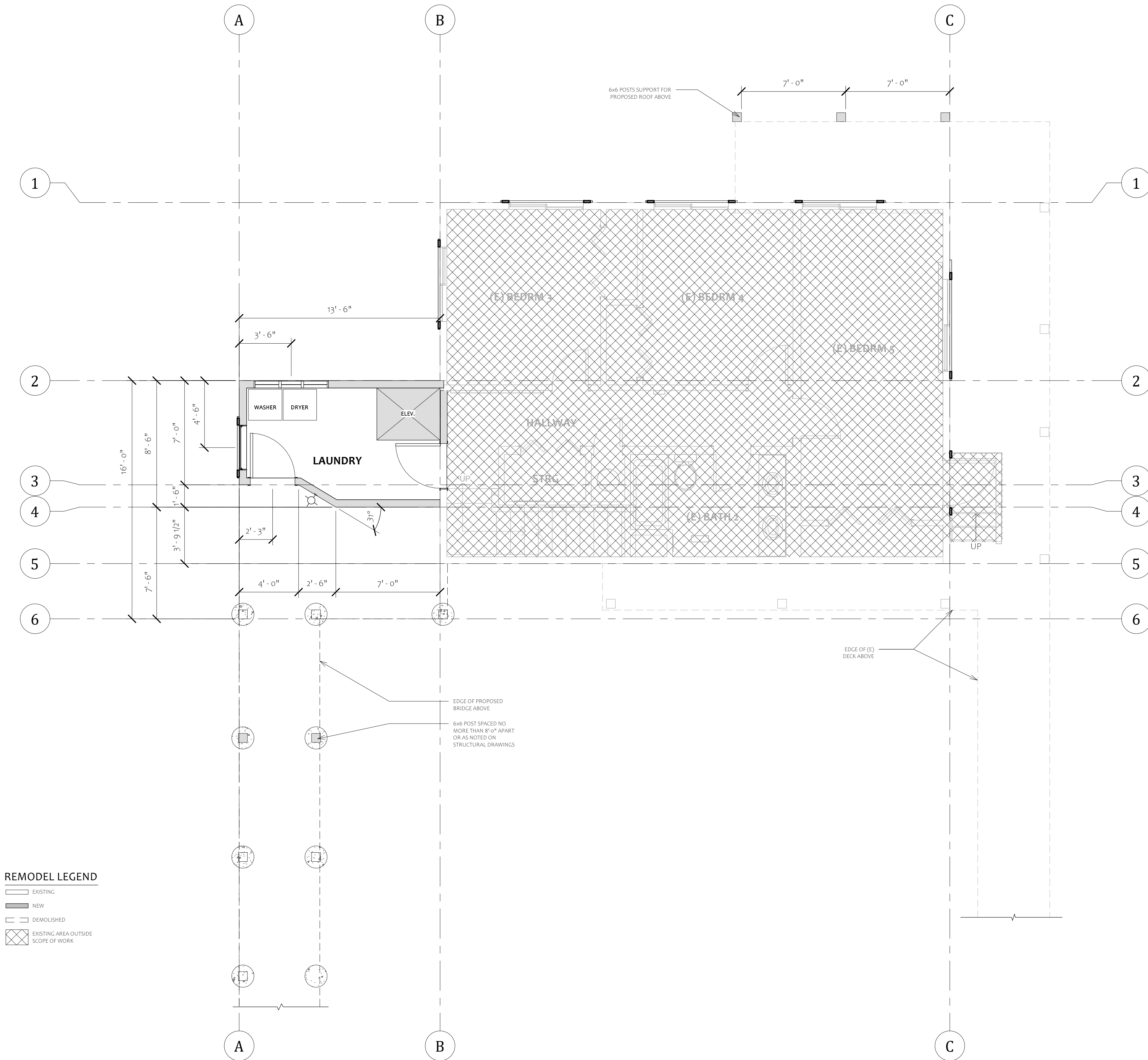
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DATE: 7/09/2023

STATUS: PRELIMINARY DESIGN
SUBMITTAL

REVISIONS:

A2.1



REMODEL LEGEND

- EXISTING
- NEW
- DEMOLISHED
- EXISTING AREA OUTSIDE SCOPE OF WORK

PROPOSED LOWER LEVEL ADDITION



SF SUMMARY	
EXISTING CONDITIONED SPACE:	794 SF
PROPOSED CONDITIONED SPACE:	108 SF
TOTAL CONDITIONED SPACE:	862 SF

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LOWER LEVEL

GALLAHER RESIDENCE

ENTRY ADDITION

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APN: 026-163-005

SCALE: 1/4" = 1'-0"

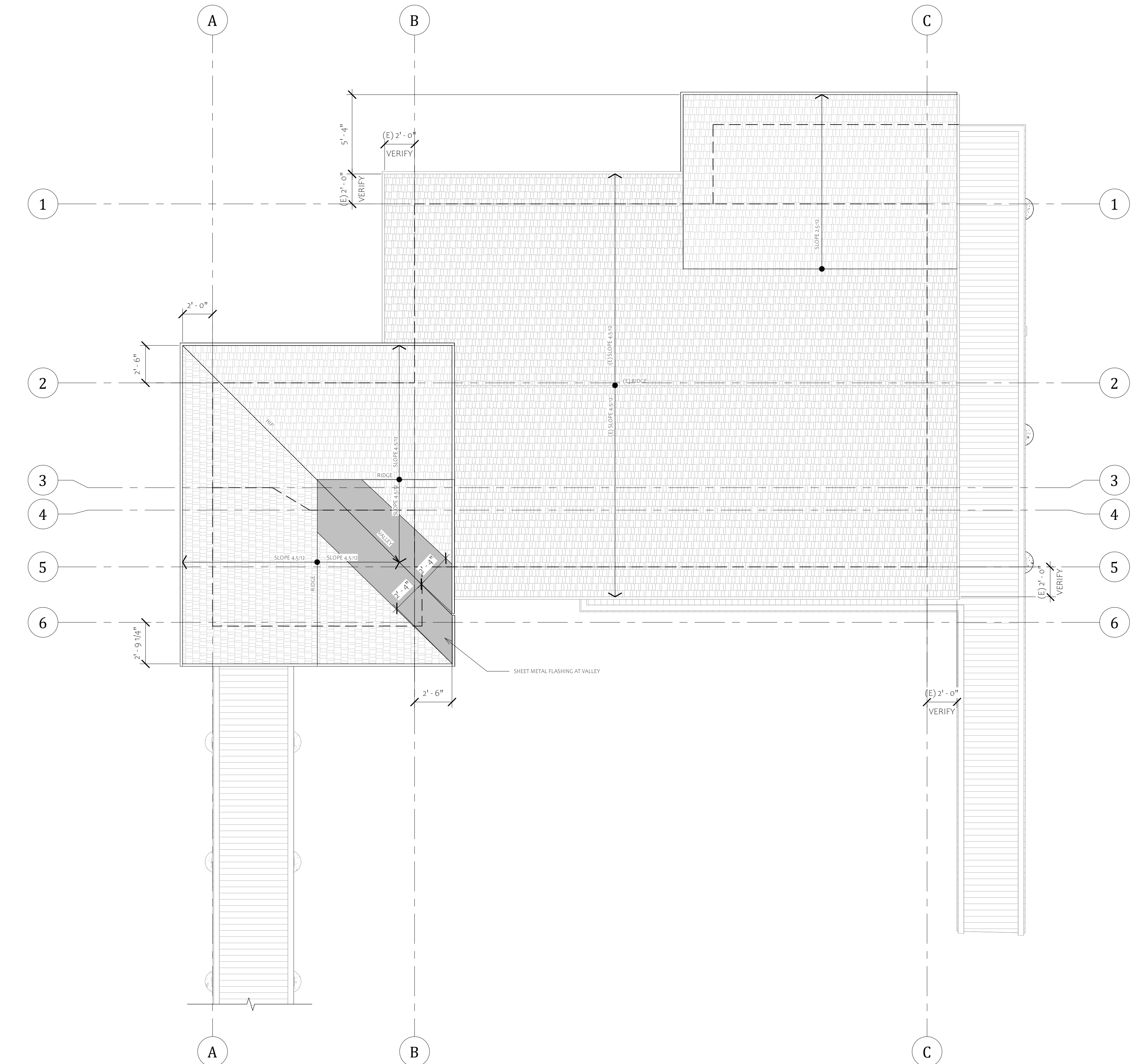
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REVISIONS:

A2.2

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ROOF PLAN

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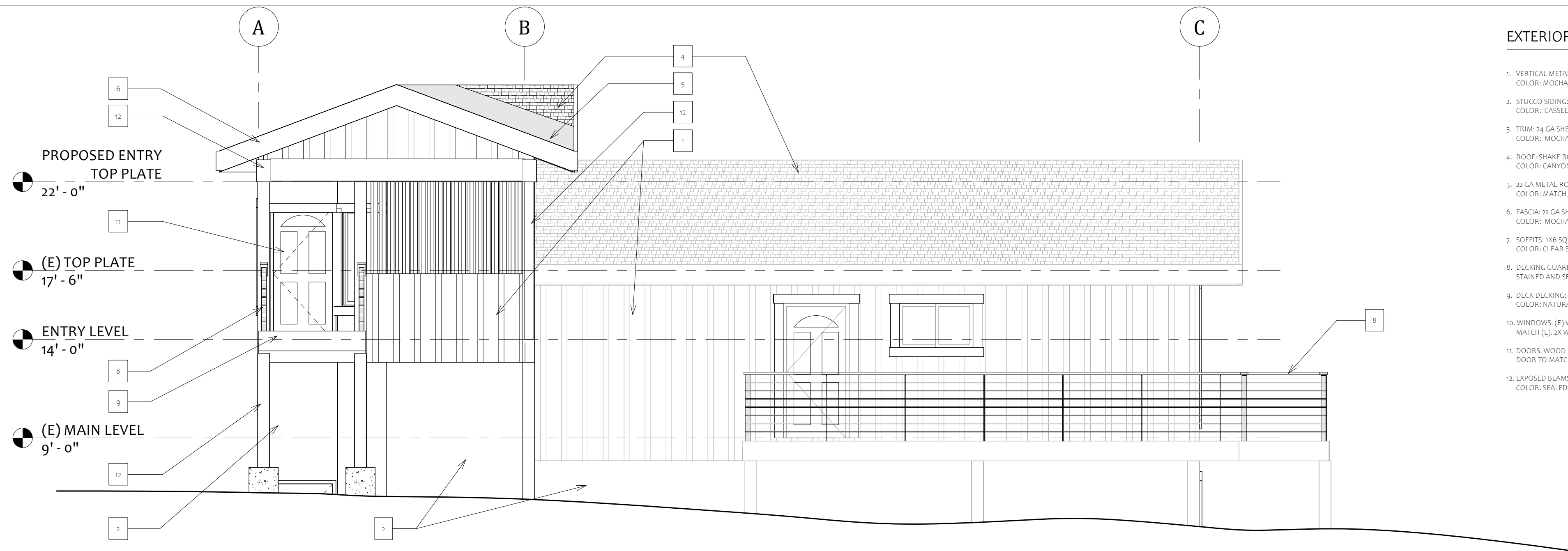
ROOF PLAN

GALLAHER RESIDENCE
ENTRY ADDITION
33951 DANBURG DRIVE
KIRKWOOD CA 95646
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REVISIONS:

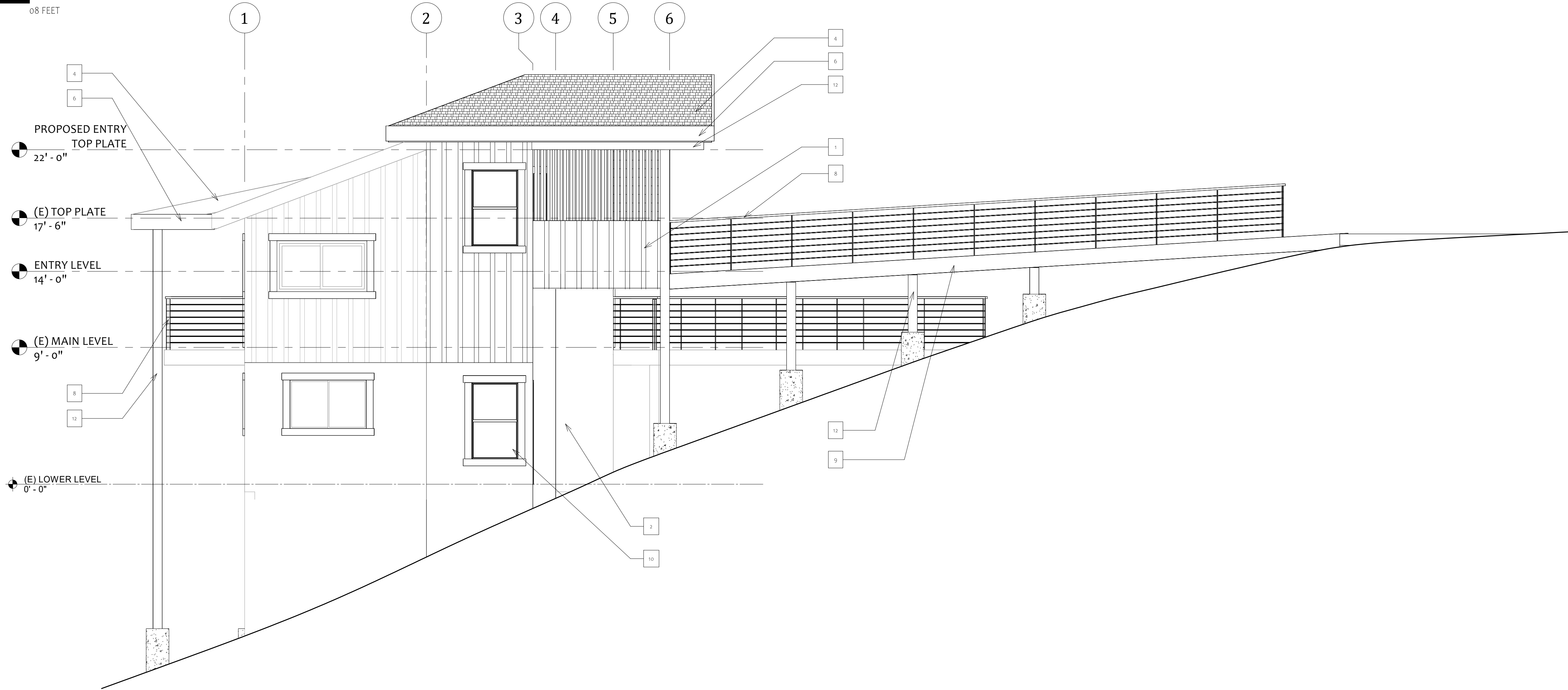
A2.3

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WEST ELEVATION

00 02 04 08 FEET



NORTH ELEVATION

00 02 04 08 FEET

EXTERIOR MATERIAL LEGEND & NOTES

1. VERTICAL METAL SIDING: BRIDGER STEEL BOARD AND BATT 24 GA. METAL PANELS
COLOR: MOCHA
2. STUCCO SIDING: BIOLIME STUCCO SIDING
COLOR: CASSEL BROWN EARTH - TR0260
3. TRIM: 24 GA SHEET METAL. MATCH BRIDGER STEEL VERTICAL SIDING MATERIAL
COLOR: MOCHA
4. ROOF: SHAKE ROOF BY BRAVA ROOF TILE
COLOR: CANYON GREY
5. 22 GA METAL ROOF FLASHING
COLOR: MATCH BRIDGER STEEL COLOR MOCHA
6. FASCIA: 22 GA SHEET METAL FASCIA
COLOR: MOCHA
7. SOFFITS: 1X6 SQUARE EDGED TAG, CEDAR, STAINED AND SEALED
COLOR: CLEAR STAIN
8. DECKING GUARDRAIL: STEEL GUARDRAIL, WITH CLEAR SEALER AND 2x WOOD CAP
STAINED AND SEALED, SEALED-ONCE, BRONZE CEDAR
9. DECK DECKING: THERMORY KODIAK SPRUCE 5/4 X8 DECKING NO GROOVE
COLOR: NATURAL AGED GRAY/BROWN
10. WINDOWS: (E) WINDOWS TO REMAIN, PROPOSED WINDOWS FIBERGLASS TO
MATCH (E), 2x WOOD TRIM, COLOR SEALED-ONCE BRONZE CEDAR
11. DOORS: WOOD DOORS, EXISTING TO REMAIN AND BE PAINTED, PROPOSED ENTRY
DOOR TO MATCH, COLOR: PPG THUNDERBOLT
12. EXPOSED BEAMS AND/OR GULLAM BEAMS OR COLUMNS: STAINED AND SEALED
COLOR: SEALED-ONCE, BRONZE CEDAR

EXTERIOR ELEVATION NOTES:

1. ALL EXPOSED STRUCTURAL WOOD SHALL BE DOUGLAS FIR S4S, SMOOTH SAWN,
PROVIDE SQUARE EDGE GULL LAMS.
2. EXPOSED MECHANICAL AND PLUMBING VENTING LOCATIONS TO BE APPROVED BY
ARCHITECT PRIOR TO INSTALLATION AND PAINTED A COLOR THAT COMPLEMENTS
THE SURROUNDING MATERIAL (ROOF SIDING).
3. VENT TERMINALS OF DIRECT VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC.
SHALL TERMINATE ABOVE THE ANTICIPATED SNOW DEPTH (ANTICIPATED SNOW
DEPTH IS THE GROUND SNOW LOAD DIVIDED BY 35). VENT TERMINATIONS SHALL NOT
BE LOCATED UNDER DECK WHICH COULD BE SEALED OFF AROUND THE PERIMETER
WITH SNOW ACCUMULATION. (NEVADA COUNTY LAND-USE ORDINANCE L-V 8.9, L-V
8.10, L-V 8.11)

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EXTERIOR ELEVATIONS

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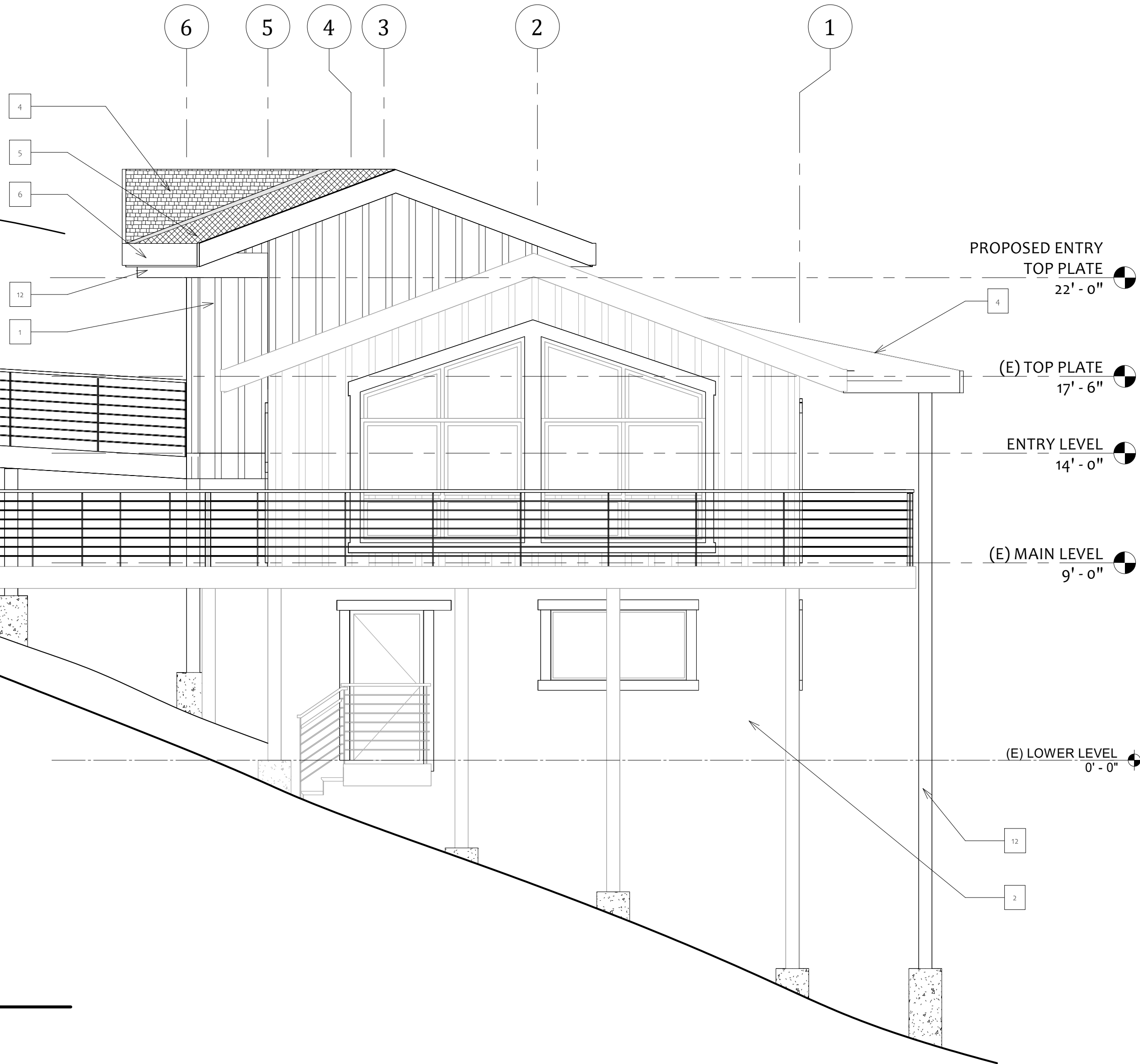
REVISIONS:

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EAST ELEVATION

00 02 04 08 FEET



SOUTH ELEVATION

00 02 04 08 FEET

EXTERIOR MATERIAL LEGEND & NOTES

1. VERTICAL METAL SIDING: BRIDGER STEEL BOARD AND BATT 24 GA. METAL PANELS
COLOR: MOCHA
2. STUCCO SIDING: BIOLIME STUCCO SIDING
COLOR: CASSEL BROWN EARTH - TRUBERG
3. TRIM: 24 GA SHEET METAL. MATCH BRIDGER STEEL VERTICAL SIDING MATERIAL
COLOR: MOCHA
4. ROOF: SHAKE ROOF BY BRAVA ROOF TILE
COLOR: CANYON GREY
5. 22 GA METAL ROOF FLASHING
COLOR: MATCH BRIDGER STEEL COLOR MOCHA
6. FASCIA: 22 GA SHEET METAL FASCIA
COLOR: MOCHA
7. SOFFITS: 1X6 SQUARE EDGED T&G, CEDAR, STAINED AND SEALED
COLOR: CLEAR STAIN
8. DECKING GUARDRAIL: STEEL GUARDRAIL, WITH CLEAR SEALER AND 2x WOOD CAP
STAINED AND SEALED, SEALED-ONCE, BRONZE CEDAR
9. DECK DECKING: THERMORY KODIAK SPRUCE 5/4 X8 DECKING NO GROOVE
COLOR: NATURAL AGED GRAY/BROWN
10. WINDOWS: (E) WINDOWS TO REMAIN, PROPOSED WINDOWS FIBERGLASS TO
MATCH (E) 2x WOOD TRIM, COLOR SEALED-ONCE BRONZE CEDAR
11. DOORS: WOOD DOORS, EXISTING TO REMAIN AND BE PAINTED, PROPOSED ENTRY
DOOR TO MATCH, COLOR: PPG THUNDERBOLT
12. EXPOSED BEAMS AND/OR GLU-LAM BEAMS OR COLUMNS: STAINED AND SEALED
COLOR: SEALED-ONCE, BRONZE CEDAR

EXTERIOR ELEVATION NOTES:

1. ALL EXPOSED STRUCTURAL WOOD SHALL BE DOUGLAS FIR S4S, SMOOTH SAWN.
PROVIDE SQUARE EDGE GLU-LAMS.
2. EXPOSED MECHANICAL AND PLUMBING VENTING LOCATIONS TO BE APPROVED BY
ARCHITECT PRIOR TO INSTALLATION AND PAINTED A COLOR THAT COMPLEMENTS
THE SURROUNDING MATERIAL (ROOF/SIDING).
3. VENT TERMINALS OF DIRECT VENT APPLIANCES, EXIT TERMINALS, GAS VENTS, ETC.
SHALL TERMINATE ABOVE THE ANTICIPATED SNOW DEPTH (ANTICIPATED SNOW
DEPTH IS THE GROUND SNOW LOAD DIVIDED BY 35). VENT TERMINATIONS SHALL NOT
BE LOCATED UNDER DECKS WHICH COULD BE SEALED OFF AROUND THE PERIMETER
WITH SNOW ACCUMULATION. (NEVADA COUNTY LAND-USE ORDINANCE L.V. 8.9, L.V.
8.10, L.V. 8.11)

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EXTERIOR ELEVATIONS

GALLAHER RESIDENCE
ENTRY ADDITION
33951 DANBURG DRIVE
KIRKWOOD CA 95646
APN: 026-163-005

SCALE:As indicated

DATE: 7/09/2023

STATUS:PRELIMINARY DESIGN
SUBMITTAL

REVISIONS:

A3.2



GALLAHER RESIDENCE
KIRKWOOD, CA

07/10/2023

ROOFING:
COMPOSITE SHAKE ROOFING BY BRAVA ROOF TILE



CAYON GREY

Aesthetics	Brava Cedar Shake
Authentic Look	✓
5/8" to 1" Thickness	✓
Hand Split: True-to-Life Texture	
Mineral-Infused Process for Authentic Color	✓
Performance	Brava Cedar Shake
Not Prohibited in Many Jurisdictions	✓
Fire Retardant: Class A or Class C	✓
Wind Resistance: 188+ mph*	✓
Impact Resistance: Class 4	✓
Freeze/Thaw Resistant	✓
Maintenance Free	✓
Colorfast	✓
Hail Warrantied	✓

SIDING MATERIAL
VERTICAL BOARD AND BATT SIDING: BRIDGER STEEL ULTRA BATTEN WALL PANEL 24 GA. WITH CONCEALED FASTENERS

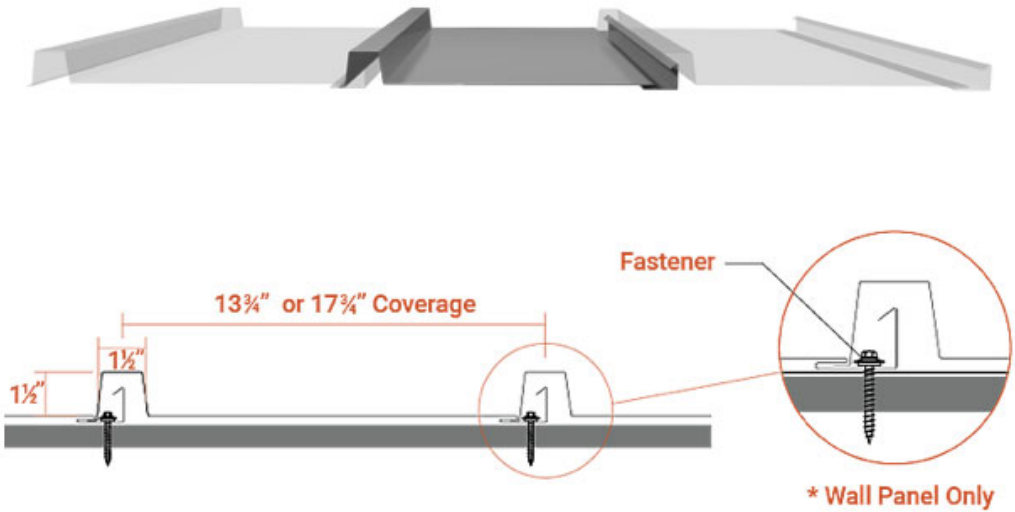


MOCHA

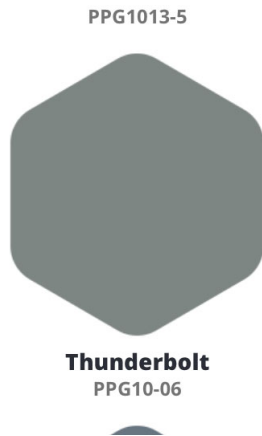
LOWER LEVEL:
BIOLIME STUCCO



Cassel Brown Earth – TR/0260



DOORS:
PAINTED, PPG-THUNDERBOLT



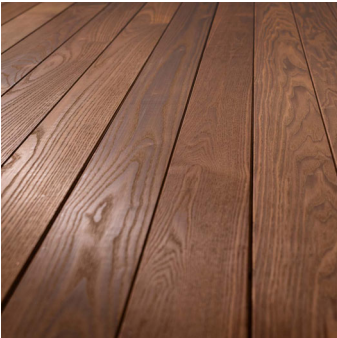
Thunderbolt
PPG10-06

WOOD STAIN
ONCE-SEAL: BRONZE CEDAR



Bronze Cedar

DECK:
THERMORY BENCHMARK ASH DECKING



EXOTIC BROWN

GALLAHER RESIDENCE
ENTRY/MUDROOM ADDITION
LOT 44, KIRKWOOD, CA
7/9/2023

EXTERIOR ELEVATION MATERIAL LEGEND



























